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**BUILDING SURVEY**

**1 Smith Road, London,  
SW6 4UR**

**PREPARED ON BEHALF OF:**

John Smith

**JOB REF:**

Example Report - Level 3  
Building Survey

**PREPARED BY:**

Jessica Toogood MRICS

**SURVEY DATE:**

Monday 5th January 2026

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## **1.0 PROPERTY ADDRESS**

1 Smith Road, London, SW6 4UR

## **2.0 INTRODUCTION**

### **2.1 Scope of Instructions**

To inspect the subject property and provide a Building Survey Report thereon in accordance with the Terms of Engagement received and signed by yourselves.

In accordance with our Terms of Engagement, we have not at this stage arranged for any specialist tests or reports on the service installations, but comments on the need for specialist tests are included.

We were not able to inspect any part of the property that was covered, unexposed, or inaccessible and therefore cannot report that such parts are free from defect.

Budget costs in this report are for guidance purposes only and are quoted exclusive of VAT and fees. These costs are not to be construed as a quotation, estimate or warranty as to the expense likely to be involved, but are for general guidance and are entirely dependent on the full extent of the work undertaken and the quality of the building materials and fittings used. You are advised to obtain competitive quotations from appropriate contractors prior to being legally committed to the purchase of this property.

This report is prepared for the sole benefit of the named client and no liability is extended to any third parties. This report must not be reproduced in whole or part without the express written authority of the surveyor.

### **2.2 Date of Inspection**

5th January 2026

### **2.3 Related Party Disclosure**

We are not aware of any conflicts of interest relating to this instruction.

### **2.4 The Property Status at the Time**

The property was fully furnished and occupied at the time of inspection. Fitted floor coverings were laid throughout most of the accommodation.

## **2.5 Weather Conditions**

The weather at the time of our inspection was cold, dry and sunny and this was preceded by a period of cloudy weather.

## **2.6 Advice**

For the purposes of this report, the terms immediate, short, medium and long are defined as follows:

Immediate term: Within 1 year

Short term: Within 1 – 3 years

Medium term: Within 3 – 5 years

Long term: Within 5 – 10 years

The general condition and particular features of the property are covered, but the Report focuses on the matters which the Surveyor judges to be urgent or significant.

## **3.0 GENERAL DESCRIPTION**

### **3.1 Description of the Property**

1 Smith Road is a mid-terraced house constructed on ground and first floor levels from solid brickwork beneath a pitched concrete tile covered roof.

The front elevation features a splay bay window on the left hand side on ground floor level only beneath a hipped and pitched tile covered roof.

The front entrance door is on the right hand side set back from the elevation to provide a covered porch.

At the rear of the property, on the right hand side, is an original two storey rear addition beneath a flat roof.

### **3.2 Approximate Age**

We understand that the property was built in approximately 1900.

We are unaware of when the extension works were undertaken.

### **3.3 Location**

The property is in a residential urban area, surrounded by similar residential properties.

The property is located within a reasonable distance of amenities, including shops, schools and public transport links.

### **3.4 Accommodation**

Ground Floor- Living room, Dining room, Kitchen.

First Floor- 3 bedrooms and and a Bathroom.

The accommodation noted on site was broadly in line with estate agents particulars shown below.



Photo 2

### 3.5 Outside Areas and Parking

The property has a front and rear garden.

There is no off street parking. On street parking is restricted with a parking permit system in operation.

There are no significant outbuildings and garages.

### 3.6 Tenure

We understand that the property is freehold. You should ask your legal adviser to confirm this and explain the implications.

## 4.0 CONSTRUCTION AND CONDITION OF EXTERNALS

### 4.1 Main Roof

The main roof is pitched from the central ridge, running left to right, down to the front and rear bounding walls. On the front slope, the covering comprises concrete interlocking tiles. The slope was even and in good condition. The concrete tiles are also even and similarly in good condition but are slightly porous and picking up a slight moss growth. This should be removed in the short term to prevent blockages of the gutters.

The rear roof slope could only be seen in part on the left hand side. This was similar to the front roof slope and was also in good order and condition apart from moss growth that should be cleared.



Photo 3 - Main Roof

### 4.2 Subsidiary Roofs

The roof over the front bay window is hipped and pitched and covered with clay tiles. The two hips are covered with triangular hip tiles.

The tiling is in good condition but the joint with the front wall is formed from a sand / cement fillet. this is in good condition but will crack and allow water penetration in the medium term. It should be replaced with a metal flashing and soaker system at a cost of approximately £500.



Photo 4 - Roof over bay window

### 4.3 Chimney Stacks

The main chimney stack is on the left hand party wall shared with the adjoining property and is conventionally constructed from brickwork with oversailing courses, two terracotta and two clay chimney pots.

The stack is inevitably weathered but is otherwise in satisfactory order and condition.

The chimney pots and mortar flaunching securing them to the stacks are by their very nature exposed to the weather. As such, these should be maintained in good condition to prevent defects to the chimney stacks and flues.



Photo 5 - Chimney Stack

#### **4.4 Parapet Walls**

On the left hand side, the parapet wall is formed from solid masonry, rendered and capped with an oversailing coping stone course. This was in good condition.

On the right hand side, the parapet wall is higher than on the left, also formed from masonry which has been rendered and capped with bonnet tiles. This was also in good condition.

Where the two parapet walls meet, the pitched roof covering, the joint has been sealed with a metal flashing. On the left hand side, this is better formed than that on the right, which is relatively loose and has clearly been laid over a sand cement fillet. This is effective at the present time but is unlikely to remain so for any more than the short term and this will need to be replaced at an approximate cost of £600.

The parapet wall on the rear left hand side is similarly constructed to that on the front and this was also in reasonable condition.



Photo 6 - Parapet wall: left hand side



Photo 7 - Parapet wall: Right hand side



Photo 8 - Parapet wall: Rear left

## 4.5 Rainwater Goods

On the front elevation, the rainwater good system is relatively new and comprises modern plastic gutters and downpipes. These are in good order and condition.

On the rear of the property, the rainwater gutters and downpipes are also formed from modern plastic. These are not new but were in reasonably good condition, save for the rear downpipe which is displaced at high level and leaking. This is a minor repair but should be executed immediately to prevent damp penetration.

Gutters and downpipes carry many hundreds of litres of water during wet weather. Their joints and stop ends are particularly prone to failure as are the outfalls which can be easily blocked by leaves and other debris. All rainwater fittings should therefore be regularly checked for defects in order to prevent leakages and spillages which could lead to damp internally.

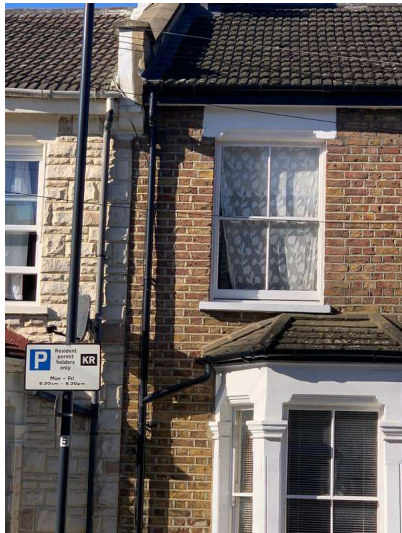


Photo 9 - Downpipe



Photo 10 - Gutter

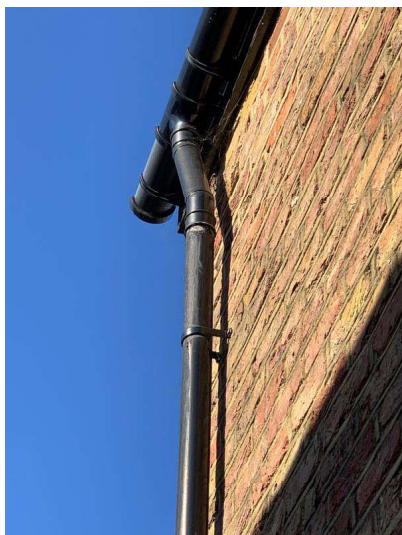


Photo 11 - Misaligned downpipe

## **4.6 External Walls & Cladding**

The front bay window is conventionally formed from a brick base with masonry reveals and lintels. The brickwork was cracked in the centre section and there were signs of movement by cracking on the left hand side and to a lesser degree, on the right hand side.

Bay windows such as these are often poorly founded on substandard foundations compared to the main building and such movement is frequent. In the case of the subject property, this movement is not significant enough to cause concern, but we would recommend that the cracks be raked out and filled to prevent water penetration and the bay window kept under observation. In the event that the foundations need to be strengthened, this will be likely to cost approximately £15,000.

The main front wall has been constructed using stock brickwork which was found to be straight and in reasonable order and condition.

The rear wall to the main building has been fully rendered. This was straight and in reasonable order and condition.

The two storey rear addition has been constructed using cavity brickwork.

Cavity brickwork is formed from two separate "skins" with the outer skin being made from the pleasant, coloured facing brick, and the inner skin which is usually made from blockwork. Between the two is a gap, or cavity. This can be filled with insulating material depending on the age of the construction.

We could not ascertain whether these particular walls have had the benefit of insulation to the cavity but given the age of the building, we would consider this to be likely.

The brickwork to the flank and rear walls is fair faced. This was in reasonable order and condition with no significant defects noted.



Photo 12 - Front bay

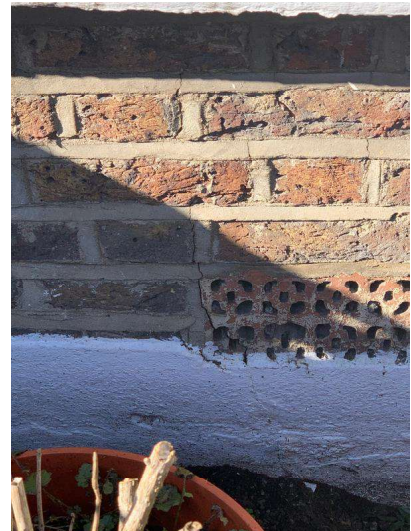


Photo 13 - Minor cracking



Photo 14 - Minor movement



Photo 15 - Front elevation



Photo 16 - Rear elevation



Photo 17 - Flank wall

#### 4.7 Damp Proof Course

A damp-proof course (DPC) is a membrane of some impervious material which is laid across the main walls during the course of construction whose purpose is to prevent dampness rising through the structure by capillary action.

The damp-proof course to the original building is not visible so we cannot confirm its type. However, bearing in mind the age of the property, the walls are likely to have a bituminous slate damp-proof course.

The walls to the rear addition contain a bituminous felt damp-proof course.

We carried out random testing for random dampness throughout the property. Testing was restricted by the kitchen fittings, radiators, heavy furniture and stored items.

We did not note any areas of significant dampness to the internal areas of the property at the time of our inspection. However, we note that some dampness may be present in areas we were unable to access or unable to see at the time of our inspection, such as beneath the tiling to the bathrooms, beneath the kitchen units and beneath items and furniture we were unable to move such as floor coverings and finishes.



Photo 18 - Visible damp proof course to new rear addition.

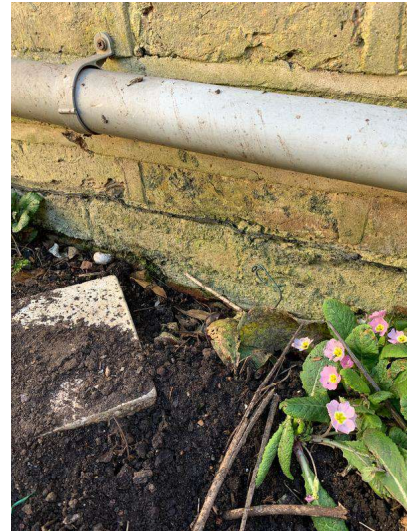


Photo 19 - DPC

## 4.8 Sub Floor Ventilation

Sub-floor ventilation is imperative to prevent moisture laden air from causing condensation and decay to the floor timbers. It is also crucial in certain areas of the UK for reducing naturally occurring, dangerous gases such as radon and methane.

It is important to ensure that ventilation has a free and unobstructed path to all areas. If the void has internal sleeper walls, provision should be made for ventilation to pass through those barriers and give protection, so as no part of the floor void is left to stagnate and become susceptible to moisture.

External landscaping should also be considered in the positioning of air bricks for sub-floor ventilation. If overlooked it can result in air bricks being permanently obstructed by hard landscaping such as patios and pathways or blocked by close proximity to bushes and seasonal debris.

In order for there to be a sufficient through airflow and ventilation to the sub-floor there should be air vents to both the front and rear. However, it would appear that the vents to the rear have been covered over, likely as part of the past extension works. Good practice would have been to install ducting to extend the ventilation through the extension's solid floors, however this has not been undertaken. We would recommend ventilation is installed retrospectively to the suspended timber floors to the rear, however this may prove somewhat difficult. If not undertaken the floor timbers will be vulnerable to damp and decay.



Photo 20

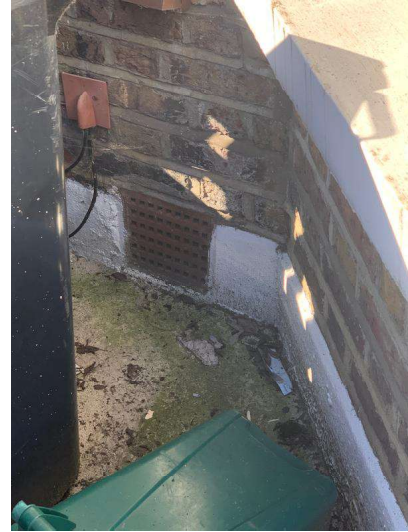


Photo 21

## 4.9 Windows

The majority of the windows in the property are formed from double hung, timber framed, sliding sash units. These were of poor quality and were generally either loose and draughty or stiff and awkward to operate. To the rear addition, poor quality factory made units have been used and these are also in poor condition.

We would recommend that all of the windows in the property be replaced with better quality units and you may like to take the opportunity to replace these with double glazed units. This is likely to cost approximately £20,000.

The external joints and seals surrounding the window frames will be vulnerable to moisture penetration, particularly in driving rain. The joints and seals should therefore be kept in good order to prevent this. If you notice any cracked pointing or defective seals these should be replaced as a matter of urgency.

Outside decorations help keep the property in satisfactory condition. Without a protective finish, parts will quickly deteriorate requiring extensive repairs. To prevent this, the external surfaces should be redecorated regularly.



Photo 22 - Bay window



Photo 23 - Dining room window



Photo 24 - Poor quality window with rotted sill

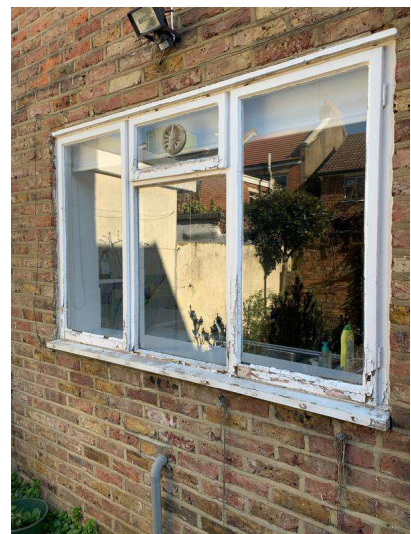


Photo 25 - Poor quality window

#### 4.10 External Doors and Other Joinery

The main front entrance door is the original timber and glazed unit. This was in reasonable condition, fitting fairly well within the frame. The two glazed panels have been replaced with security glass and were in good order.

The rear door is a low quality, timber panelled unit with a double glazed panel. The various joints are springing in places. You should consider replacing this door with a more robust unit.

The remaining joinery consists of timber fascias and soffits.

From our limited view from the ground, sections of the external joinery are badly weathered in areas and require repairs in the short term. Given their age and exposure, the external joinery will require regular maintenance and re-decoration to maintain its condition.

You should ensure the junctions of the door frames and masonry is sealed and kept in good order. If the seals become cracked or damaged then water penetration can occur in bad weather.



Photo 26 - Main front door



Photo 27 - Rear door



Photo 28 - Badly weathered fascia board

#### **4.11 Grounds, Boundaries and Outbuildings**

The front boundary is formed from a dwarf brick wall capped with oversailing coping stones. This was in satisfactory condition. The right hand boundary wall is also formed from brickwork with oversailing copings and this was in reasonable condition. The base of the wall has a sand / cement fillet which is badly cracked and will become loose and will need to be reformed in the medium term.

The left hand front boundary is formed from brickwork, capped with block and further brickwork and this was in reasonable condition.

The front garden is formed from concrete and a small flower bed section.

At the rear of the property, the left hand boundary is denoted by a timber boarded fence topped with a trellis. This was in reasonable condition but one of the trellis panels needs to be re-fixed. The rear right hand boundary is formed from a solid masonry wall, rendered, and the flank wall of the adjoining owners single storey rear addition. The render is weathered in places and minor filling is required.

The rear boundary is formed from a brick wall which was generally in poor order and condition, being patch repaired and partly rebuilt.

The rear garden has been laid in brick paved pathways and flower beds. The garden is generally well stocked with a variety of trees, shrubs and bushes.

The section adjacent to the rear addition has been covered with York stone slabs and was in good order.



Photo 29 - Boundary wall

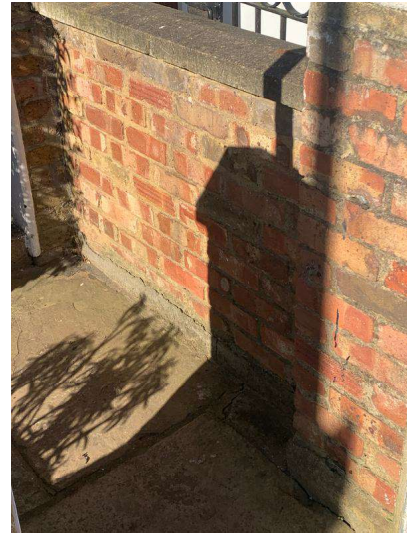


Photo 30 - Base of boundary wall

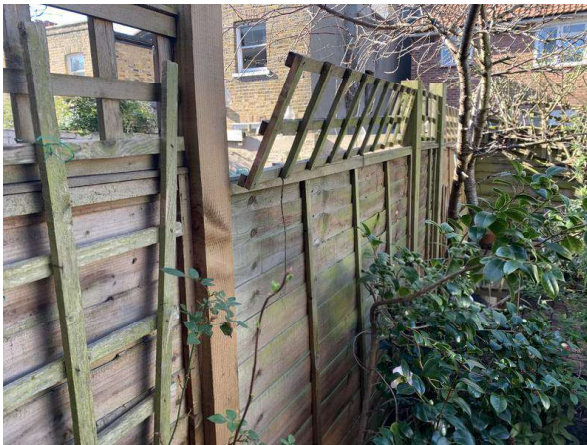


Photo 31 - Left hand boundary fence

## 4.12 Foundations and Movement

You will appreciate that we were unable to excavate or expose the foundations and therefore we cannot comment upon their condition or design.

The precise makeup of under-lying soil is not known, however a mixture of gravel, clay, wet and acidic soils are known to be present within the area. The dehydration and subsequent rehydration of these can cause structural movement in buildings. Foundations of older buildings are usually shallow and movement is common as a result

of changes in groundwater levels.

It is likely that some settlement has occurred within the building over the history of the building's life, and this would be typical of its age and type. This invariably causes some distortion in walls and openings and can cause some cracking damage.

Although we did not note any significant cracking damage or ongoing progressive movement to the building at the time of inspection, we advise that some structural movement may occur in the future. Therefore, provided the drains are kept clear and free-flowing and that a satisfactory standard of maintenance is applied we see no reason why the foundations should not continue to provide satisfactory service.

We recommend that you ascertain that adequate 'all risks' building insurance is secured and maintained in relation to the property at all times and that should include any damage occasioned by movement.

#### **4.13 Other Areas**

There are no other external areas to comment upon.

## 5.0 CONSTRUCTION AND CONDITION OF INTERNALS

### 5.1 Roof Space

The main roof space was accessed via the hatch in the landing ceiling.

The roof structure is conventionally formed from a timber framework of rafters and purlins which slope to form the roof pitch. The roof is lined internally with a breathable membrane. The roof is insulated with blanket insulation.

The roof structures are in satisfactory condition and appear to have been renewed relatively recently. You may wish to enquire from the vendor as to why the original roof structure was replaced. This structure is undoubtedly heavier than the original roof and this may have caused some settlement in the building possibly leading to the cracking discussed under 'external walls'.

The purlins are built into the party walls on left and right hand sides but the hole into which they are inserted has not been filled. These should be filled now.

We noted no ventilation to the roof structure and this can give rise to condensation. The combination of poor ventilation and of moisture content (whether caused by condensation or by water ingress) provides ideal conditions for the onset of fungal decay such as dry rot. This is a serious timber destroying fungus which is usually costly to eradicate. Ventilation is therefore advisable although it is fair to say that it is frequently omitted.



Photo 32 - Roof structure



Photo 33 - Roof structure



Photo 34 - Roof structure



Photo 35 - Hole requiring filling

## 5.2 Ceilings

The property has a mixture of older type lath and plaster and more modern plasterboard ceilings. These have skimmed, painted and papered finishes.

Minor cracking was noted to the plaster finishes in a number of areas. This is not serious but does require localised repairs and redecoration in due course.

Cracking in plaster often occurs due to the general ageing of the material and loss of adhesion over time. On-going repairs will be necessary and the cracking may re-open from time to time.

The ceiling paper obstructed our inspection of the plaster finished and is often used to conceal defective plaster. If this is removed you may find that repairs and re-plastering is necessary.



Photo 36 - Living room: lath and plaster

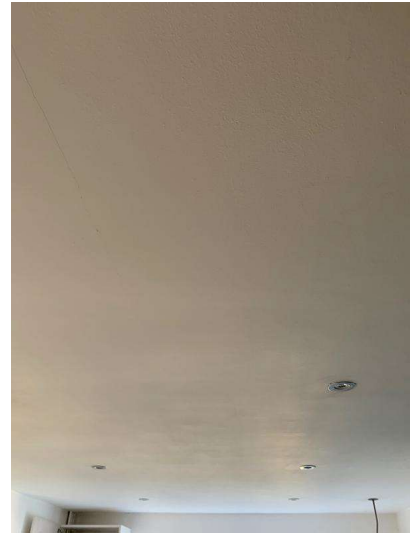


Photo 37 - Kitchen



Photo 38 - First floor landing

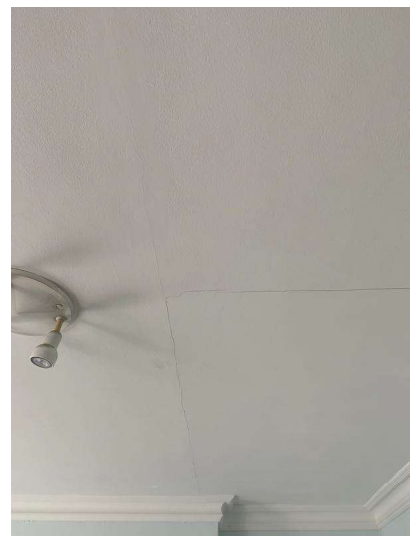


Photo 39 - Front bedroom



Photo 40 - Shrinkage cracking to coving



Photo 41 - Poor finish around spotlights

### 5.3 Internal Walls and Partitions

The internal partitions are of solid masonry and timber framed construction. These have plastered, painted, papered and tiled finishes.

Some time was spent examining the internal partitions and we can advise that generally these are straight and true and showed no signs of any significant defects. As with the ceilings, some minor cracking was noted to the internal plasterwork and partitions, this is not significant or substantial enough to cause concern and merely requires localised repairs and redecorations.

A large crack is visible in the cupboard under the stairs. This crack is caused by movement in the party wall at the junction of the main building and the rear addition. This is due to the failure to build in an expansion joint during original construction. This defect is common in buildings of this age and is not considered to be a serious defect. The crack has been repaired where it originally extended towards the head of the staircase. The crack should be cut out and be re-plastered when next re-decorating. The crack can be expected to re-appear.

At ground floor level the original cross partitions between the living room and dining room have been removed to open up and adjoin the area. These partitions would have been load bearing and required insertion of a steel joists or beams to support the loads above. We could not open up the structure and cannot confirm that such a beam has been installed but we can say that there is no sign of any distress or distortion to the floor above to indicate that this was not the case.

Cracks in plaster often occur due to the general ageing of plaster but this is not considered serious or significant. If the cracks are repaired and filled, they may re-occur from time to time.



Photo 42 - Under stairs: large crack

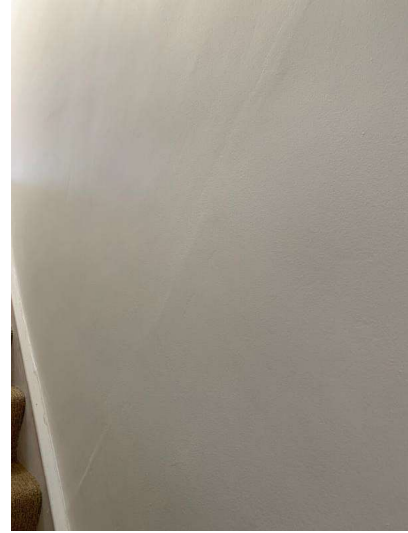


Photo 43 - Crack repaired and redecorated



Photo 44 - First floor front bedroom

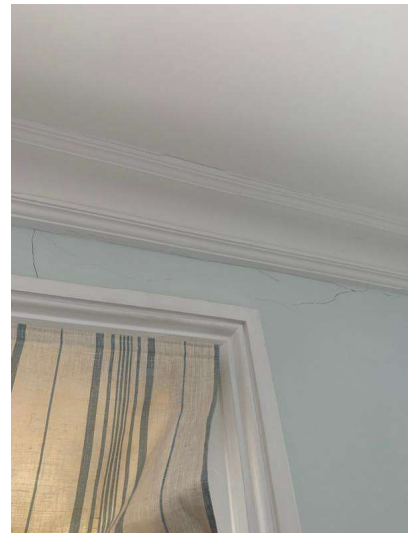


Photo 45 - First floor front bedroom

## 5.4 Floors

The ground & first floors are formed from suspended timber whilst the rear addition (kitchen) is formed from solid construction.

These have a range of carpeted and floorboard floor coverings. These were worn and you will undoubtedly wish to replace them in due course.

The floors are not entirely level and move and creak underfoot as is common with properties of this age.

Due to the presence of the vendors' fitted floor coverings no view of the floor structures could be obtained and we cannot advise on their condition. It is often impractical to ask vendors to lift fitted floor coverings as this may prove disruptive and costly. As such, there is a risk that defects maybe hidden beneath the floor coverings. When the floor structures are next exposed, we recommend you instruct a timber specialist to inspect and report on the condition of the floors.

We noted that there is some damage to the carpet in certain areas which may indicate the presence of carpet moths. You should ensure that this is treated prior to laying any new carpets to in the property.

We did not find any signs of wood-boring beetle attack to the floor timbers, however given the age and location of the property it is inconceivable that it would have escaped the attentions of woodworm. Should an outbreak be discovered, localised treatment may be necessary.



Photo 46 - Carpet



Photo 47 - Treated floorboards



Photo 48 - Carpet

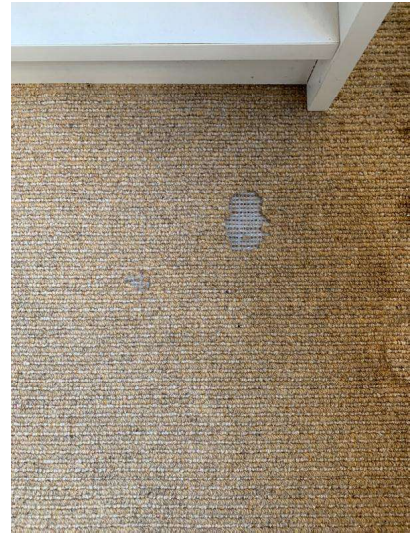


Photo 49 - Signs of Carpet Moth

## 5.5 Internal Joinery

The internal joinery consists of timber doors, stairs, skirting boards, architraves, built-in cupboards and bookshelves.

Much of the internal joinery is rather dated and worn and you may wish to upgrade this to your own taste in due course.

No obvious signs of wood-boring beetle attack were found in the joinery timbers, however given the age and location of the property it is inconceivable that it would have escaped the attentions of woodworm. Should an outbreak be discovered, localised treatment may be necessary.



Photo 50 - Typical door



Photo 51 - Banister



Photo 52 - Skirting

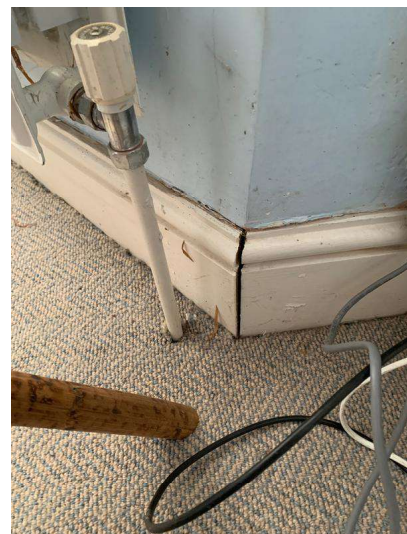


Photo 53 - Skirting board front bay window

## 5.6 Kitchen

The kitchen is fitted very sparsely with only floor storage units and melamine covered worktop. You will want to modernise and redesign this aspect to your own standards.

Kitchen appliances include:

- \* Electrolux four ring gas hob.
- \* Neff electric oven.

\* Double drainer stainless steel sink unit.

Built-in fittings can conceal a variety of problems that are only revealed when they are removed for repair. For example, kitchen units often hide water and gas pipes, or obscure dampness to walls. You should plan for a higher level of maintenance with these older fittings.

The kitchen fittings are worn and dated. You will no doubt want to modernise and upgrade the kitchen to your own standards.



Photo 54



Photo 55

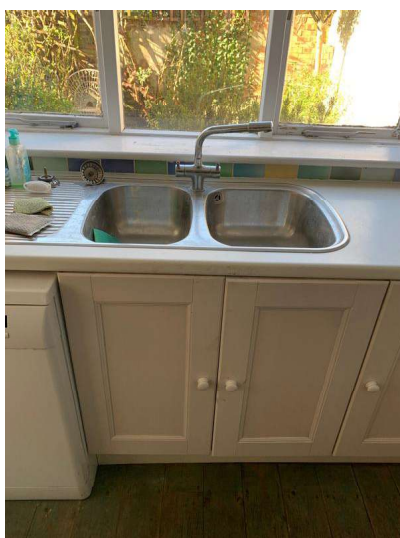


Photo 56 - Kitchen sink

## 5.7 Bathrooms and Cloakrooms

This bathroom contains a white suite consisting of an acrylic bath with mixer tap and a separate thermostatically controlled shower discharging over the bath, a WC with concealed cistern and a wall hung ceramic wash basin. The bath is damaged, in that the enamel is badly chipped on the rear left hand corner.

The fittings are generally low quality, low standard units and we would recommend that these are replaced.



Photo 57 - Sink/ WC



Photo 58 - Bath



Photo 59 - Damage to bath

## 5.8 Fireplaces, Flues and Chimney Breasts

The living room contains a feature fireplace with a coal effect gas fire.

Aesthetically, the fireplace appear to be in satisfactory condition however we cannot comment upon its working order.

The chimney should be inspected and swept by a chimney sweep annually and before first use. Any repairs identified should be undertaken immediately.

All gas fires should be tested by a Gas Safe contractor before use.



Photo 60 - Gas fire to living room

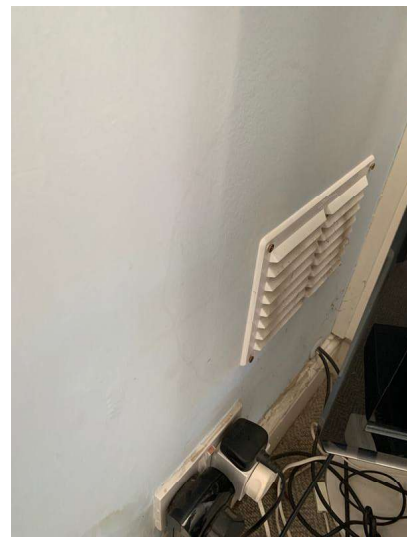


Photo 61 - Gas fire ventilation



Photo 62 - Lined chimney flue

## 5.9 Decorations

We do not propose to comment on the condition of the internal decorations in detail as you will have seen these for yourself and will appreciate that they consist of plain emulsion paint applied to walls and ceilings with oil paint being applied to the joinery.

You will no doubt wish to redecorate the property to your own tastes and standards in due course.

The external decorations are in poor order and condition. Redecoration is required.

## 5.10 Dampness

All timber that has been affected by dampness should be treated, replaced where necessary and relevant guarantees given to such treatment prior to redecoration.

All rainwater goods, downpipes and gutters should be checked and cleared out regularly as part of an ongoing maintenance plan for the building, to prevent penetrating dampness into the structure. The connections between the downpipes should also be checked regularly to ensure they have not been breached, which could cause rainwater to run down the surface of the building, leading to ingress into the structure of the building.

We recommend that any potential penetrating dampness identified within the structure be dealt with without delay so that suitable arrangements for repair can be made.

High damp meter readings were recorded under the bay window on the ground floor and under the window in the first floor bedroom. It is likely that this is caused by the poor

condition of the windows themselves (see the 'windows' section of this report) which are allowing water to penetrate the structure. Once the windows are replaced you should monitor these areas. Should the problem persist we recommend that a PCA qualified damp and timber specialist is instructed to carry out further investigation of the walls and the timbers in contact with them. Quotes should be obtained for the remedial works necessary.

It is important that any matters relating to internal water ingress are dealt with as a matter of urgency in order to prevent further more extensive issues that could occur. We recommend that if you note any signs of dampness during your occupation to the ceilings, walls or floors, that suitable arrangements for repair can be made immediately.



Photo 63 - Front bay window

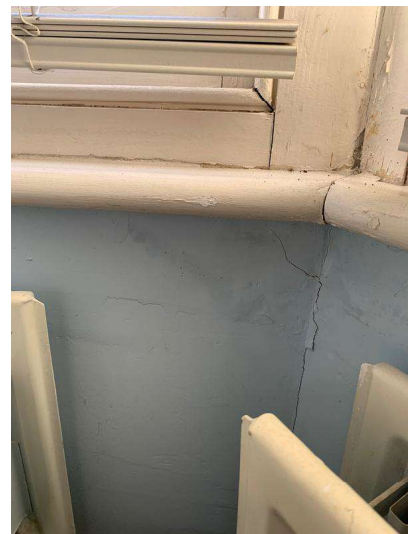


Photo 64 - Front bay window



Photo 65 - First floor bedroom



Photo 66 - First floor bedroom

## 5.11 Condensation

Condensation within a building is caused by insufficient ventilation failing to dispel airborne water vapour caused by cooking, bathing and even breathing, which then condenses on cold surfaces.

Condensation occurs when air saturated with water vapour reaches its dew point and this can be avoided by venting water vapour.

In general terms, we recommend you ensure that the windows are opened on a regular basis to naturally ventilate the property and increase the rate of water evaporation. This will prevent condensation from building up and damaging the finishes in both the kitchen and bathroom. If condensation is allowed to build up within the bathroom it will eventually lead to damage of the finishes and the paint will start to peel off. As the situation continues it can lead to mould and fungal growth.

## 5.12 Timber Defects and Infestation

Poorly ventilated timbers in damp environments provide ideal conditions for the onset of fungal decay such as dry rot. This is a serious timber destroying fungus that is usually costly to eradicate. As such it is important that any matters involving water ingress or penetration, leakage, condensation or their possibility, are always dealt with as a matter of urgency as and when they occur, if fungal decay and wet rot is to be avoided.

The majority of buildings suffer from woodworm infestation at some stage during their life. The presence of floor coverings, the limited inspection of the whole building and the number of concealed timbers in this type of property prevented a full investigation for woodworm. It can also be present for up to three years without being visible. Although

we noted no sign of an attack we are unable to confirm that the building is entirely free from woodworm.

Due to the limited nature of our inspection, we are unable to state whether any fungal decay exists in those areas of the building we were unable to inspect, such as the underside of floorboards and skirting boards and the roof timbers. If this is of particular concern to you, we recommend an expert survey by a firm of timber preservation specialists be commissioned. We are able to provide contact details if necessary.

All windows and external woodwork should be redecorated every 3-5 years as part of an ongoing cyclic maintenance plan to the building as this will help prevent timber decay and rot which can lead to costly repairs.

### **5.13 Cellar and Other Areas**

There is no cellar with this property.

## 6.0 SERVICES

You will appreciate that we are not technically qualified to comment on the service aspects of this property. We should be pleased to arrange for tests to be carried out on service installations by qualified technicians if required.

In the meantime, our comments are based on our experience in dealing with these items over a number of years.

Services, particularly gas and electricity, have to be installed in accordance with various regulations which are frequently updated by the appropriate authorities. Unless an installation is brand new it is unlikely to be up to the latest standards required. All defects and deficiencies noted from our visual inspection are duly reported, but the true condition and likely life expectancy of an installation can often only be ascertained by testing.

The Institute of Electrical Engineers recommends that wiring installations are tested every five years. Gas appliances should be serviced annually.

### 6.1 Electrics

The meter and fuse box can be found at high level in the hallway. The consumer unit contains Miniature Circuit Breakers (MCB's) to protect users should there be a fault with the system.

The consumer unit is an older type system with re-wireable fuses which will likely not meet modern safety requirements. This should be replaced with a modern unit. It is also likely that some re-wiring will be necessary. We would recommend that you employ the services of a qualified electrician to inspect and test the wiring and to provide you with a report on its condition together with a quotation for any improvement works found necessary.

You are advised that the electricity supply companies recommend that domestic wiring is tested every ten years or on change of ownership, whichever is sooner.

We are not aware of a current test certificate for the electrical installation.

In the absence of a current electrical test certificate, we would advise you to employ the services of a qualified electrician to inspect and test the wiring and to provide you with a report on its condition together with a quotation for any improvement works found necessary.



Photo 67 - Fuse board and electric meter

## 6.2 Gas

The property has the benefit of a mains gas supply which serves the central heating boiler, the hob and the fireplace.

The meter is located in the outside box.

The gas services generally appear to be in satisfactory condition with no obvious signs of defects. However, we have not carried out any tests and cannot confirm its working order.

We are not aware of any up to date test certificate for the gas services.

You should instruct an appropriate Gas Safe registered engineer to test and report on the gas installation prior to occupation.



Photo 68 - Gas meter

### **6.3 Water Supply and Plumbing**

The property is served by a mains water supply.

Where visible, the plumbing system comprises of modern copper and plastic tubing.

The stopcock can be found under the stairs.

There is a water storage tank located in the roof space, however, this is not in use.

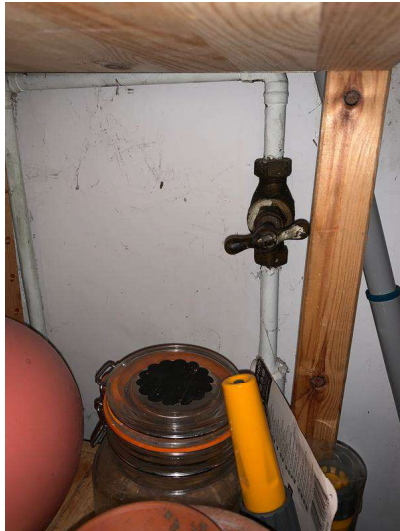


Photo 69 - Stopcock



Photo 70 - Pipework under the sink

## 6.4 Heating

The property has the benefit of a gas fired central heating system powered by a Glow Worm boiler located in the kitchen. We would advise that this boiler is of some age you should consider replacing this with a more modern, high efficiency unit. You should instruct a gas engineer to inspect and test the system and quote for any improvement works.

The system is a conventional pumped hot water system with various style radiators linked by copper tubing.

The central heating system is supplemented by the gas fire in the living room.

The heating system was not on at the time of our inspection and we could not turn it on or fire it up.

We are not aware of a current test certificate for the heating system.

You can't always be sure when the appliances and pipework were last serviced and checked. The vendor should be able to provide you with a Gas Safety Record showing that a suitably qualified Gas Safe registered engineer has checked the gas installation pipework and appliances.

If they are unable to do this, you will need to contact a registered engineer to test and report on the system before you exchange. The engineer should be able to complete a record and provide it to the vendor so they can pass it onto you when you move into the property. The system should then be inspected annually.



Photo 71 - Glowworm boiler



Photo 72 - Typical radiator

## 6.5 Drainage

We were able to inspect the drainage system via the inspection chamber. Here we found the system to be clear and free from defects but cannot comment upon the whole system.

As the drains will be of some age it would be prudent to instruct a drainage contractor to carry out a CCTV inspection of the system prior to exchange of contracts.



Photo 73 - Inspection chamber

## **6.6 Other Services**

The property does not have any mains powered smoke/fire or carbon monoxide alarms fitted. It would be prudent to install these immediately.

## **7.0 ENVIRONMENTAL AND OTHER ISSUES**

### **7.1 Flooding**

Your Legal Advisers should confirm if the property has previously been flooded or is at risk of flooding and any implications this may have on obtaining insurance at a reasonable price.

We have checked the Environmental Agency website for the likelihood and risk of flooding to this area, and viewed the map showing areas at risk of flooding at the property and the surrounding areas below. The information below provides an indication of the likelihood of flooding in your area.

### **7.2 Risk of Flooding from Surface Water and Ground Water**

Surface water flooding happens when rainwater does not drain away through the normal drainage systems or soak into the ground, but lies on or flows over the ground instead.

The likelihood of flooding from surface water in the area is classed as very low.

### **7.3 Risk of Flooding from Rivers, Sea and Reservoirs**

River flooding happens when a river cannot cope with the amount of water draining into it from the surrounding land. Sea flooding happens when there are high tides and stormy conditions.

The likelihood of flooding from rivers and seas in the area is classed as low.

If you would like further information on this and would like to find out whether you can get advanced warnings of flooding then please visit the Environment Agency website at <http://watermaps.environment-agency.gov.uk>

### **7.4 Location and Environmental Issues**

Due to the property being located in a built up area, we do not consider it to be particularly exposed to the elements.

### **7.5 Thermal Insulation and Energy Efficiency**

The property has solid brick walls and single-glazed windows and will therefore have poor thermal insulation and energy efficiency.

## **7.6 Asbestos and Other Deleterious Materials**

We were not able to detect the presence of any hazardous or deleterious materials that may have been used in the construction of this building, or that may have subsequently been incorporated.

There is a possibility that the electricity head at high level in the hallway may contain asbestos. Without testing it is not possible for us to confirm. Should you wish to move this you will need to arrange for testing and possibly removal via a qualified contractor.

Given that hazardous or deleterious materials may be hidden in the structure in inaccessible places, and the restrictions on our inspection, we cannot guarantee that no such materials exist in this building.

Enquiries should be made to ascertain whether they have any knowledge of such materials being present in this building.

The presence of such materials can result in very high levels of expenditure and inconvenience in stripping them out.

We are not aware of the content of any environmental audit or other environmental investigation or soil survey which may have been carried out on the property which may draw attention to any contamination or the possibility of any such contamination.

We have not carried out any investigation into past or present uses, either of the subject property or of any neighbouring land to establish whether there is any contamination or potential for contamination to the subject property from these uses or sites. We have therefore assumed that none exists but cannot guarantee that this is the case.

Enquiries should be made with the Vendor and Local Authority, and all relevant site investigations should be undertaken before you commit yourself to acquiring an interest in this property.



Photo 74 - Electricity head: possible asbestos

## 7.7 Japanese Knotweed & Other Invasive Plant Species

The presence of Japanese Knotweed can affect value as some lenders may restrict mortgage finance when it is found. In addition, if you have invasive plants or injurious weeds such as Japanese Knotweed on your premises you have a responsibility to prevent them spreading into the wild or causing a nuisance. Your legal adviser should inform you on the law in respect of this pernicious weed. The roots of Japanese Knotweed can also affect underground drainage and foundation support when they seek moisture. Whilst there is no obvious evidence of such damage, this could occur in the future.

During the course of our inspection of this property we did not note the presence of any Japanese Knotweed, Giant Hogweed or any other invasive species that might have an adverse effect on the property or its value. However, we are not expert in horticultural matters and we cannot guarantee that no such species exist. We are also unable to comment on Japanese Knotweed on neighbouring land that is not clearly visible from the subject property.

## 7.8 Security

There are always ways to improve the security of your property. Burglars like to operate under cover of darkness and by installing external motion sensor floodlights these act as a deterrent. Intruder alarms are a good way to improve security and reduce your insurance premium, these should be serviced annually.

We recommend that a garden gate is the same height as the adjoining walls or fences and securely constructed. Metal gates are more difficult to scale than solid wood alternatives and their open structure means they don't provide cover for an intruder.

Gates and outbuildings should be fitted with locks.

Patio doors can be protected by fitting purpose-made locks or a security bar. Window locks that pull the window into the frame with a key are stronger than normal locks.

## **8.0 LEGAL MATTERS**

### **8.1 Listed Buildings & Conservation Areas**

The property is located within the London Borough of Hammersmith and Fulham.

We believe the property is not located in a Conservation Area, however your Legal Advisers should confirm this.

We understand that the building is not listed, however this should be confirmed by your legal advisers.

### **8.2 Regulation**

We recommend that you ask your solicitor to get confirmation that the building is fully insured at present and that your new insurance policy is in place at exchange of contracts should you decide to go ahead with the purchase.

We have assumed that there are no encumbrances or unduly onerous or unusual easements, restrictions, outgoing or conditions likely to have an adverse effect upon the value of the property, and we have assumed that a good and marketable title is held.

We would recommend that your legal advisors verify information relating to tenure and furthermore, we would stress that the above assumptions should not be relied upon until such time as they have been confirmed to be accurate.

### **8.3 Guarantees/Warranties**

We recommend that you seek copies of any guarantees and warranties from the vendor for appliances within the demise such as for the boiler.

We have not tested the white goods or appliances within the property and recommend that you seek copies of any available guarantees and warranties from the vendor.

### **8.4 Other Items for your Legal Advisers**

Your legal advisers should confirm the extent and ownership of the boundaries, the drainage arrangements and your rights and responsibilities in respect of the right of way to the property.

The parking in the surrounding area is restricted for resident permit holders only. Your legal advisers should confirm the availability and cost of these.

Check that relevant approvals have been granted by the Building Inspector for works covered by the Building Regulations.

## 9.0 CONCLUSIONS AND RECOMMENDATIONS

During the course of our inspection a number of defects were noted and you should obtain quotes and reports for the works required. We have only summarised the main issues here, and you should refer to the report in its entirety:

- \* The rear downpipe is displaced at high level and leaking. This is a minor repair but should be executed immediately to prevent damp penetration.
- \* We recommend that the cracks to the bay window be raked out and filled to prevent water penetration and the bay windows kept under observation. In the event that the foundations need to be strengthened, this will be likely to cost approximately £15,000.
- \* We would recommend ventilation is installed retrospectively to the suspended timber floors to the rear, however this may prove somewhat difficult. If not undertaken the floor timbers will be vulnerable to damp and decay.
- \* We would recommend that all of the windows in the property be replaced with better quality units and you may like to take the opportunity to replace these with double glazed units. This is likely to cost approximately £20,000.
- \* We noted that there is some damage to the carpet in certain areas which may indicate the presence of carpet moths. You should ensure that this is treated prior to laying any new carpets to in the property.
- \* High damp meter readings were recorded under the bay window on the ground floor and under the window in the first floor bedroom. It is likely that this is caused by the poor condition of the windows which is allowing water to penetrate the structure. Once the windows are replaced you should monitor these areas. Should the problem persist we recommend that a PCA qualified damp and timber specialist is instructed to carry out further investigation of the walls and the timbers in contact with them.
- \* There is a possibility that the electricity head at high level in the hallway may contain asbestos. Should you wish to move this you will need to arrange for testing and possibly removal via a qualified contractor.

Provided that you are prepared to accept the cost and potential inconvenience of the various works reported, we see no reason why you should not proceed to acquire an interest in this property.

We recommend that the electricity, heating, gas and plumbing systems are tested and reports obtained before you commit yourself to acquiring an interest in this property. We recommend that you commission a CCTV survey of the drainage system.

Provided that you are prepared to accept the cost and potential inconvenience of the various works reported, we see no reason why you should not proceed to acquire an interest in this property.